

ABBREVIATIONS

&	AND	F.O.M.	FACE OF MASONRY	Q.T.	QUARRY TILE
@	AT	F.O.S.	FACE OF STUDS	QTY.	QUANTITY
⊕	CENTERLINE	F.P.R.F.	FIREPROOF		
#	POUND OR NUMBER	F.R.	FIRE RATED	R.	RISER
ABV.	ABOVE	F.R.T.	FIRE RETARDANT TREATED	RAD.	RADIUS
ACOUS.	ACOUSTICAL	F.R.T.W.	FIRE RETARDANT TREATED WOOD	R.D.	ROOF DRAIN
A.C.T.	ACOUSTICAL CLG. TILE	F.S.	FULL SIZE	REF.	REFERENCE
A.D.	AREA DRAIN	FT.	FOOT OR FEET	REFR.	REFRIGERATOR
ADJ.	ADJUSTABLE	FTG.	FOOTING	REG.	REGISTER
A.F.F.	ABOVE FINISH FLOOR	FURR.	FURRING	REINF.	REINFORCE
AGGR.	AGGREGATE	FUT.	FUTURE	RESIL.	RESILIENT
ALUM.	ALUMINUM			RM.	ROOM
APPROX.	APPROXIMATE	GA.	GAUGE	R.O.	ROUGH OPENING
ARCH.	ARCHITECT/ARCHITECTURAL	GALV.	GALVANIZED	REQ'D.	REQUIRED
ASPH.	ASPHALT	G.B.	GRAB BAR		
		GL.	GLAZING	S.	SOUTH
BD.	BOARD	GND.	GROUND	S.C.	SOLID CORE
BIT.	BITUMINOUS	GR.	GRADE	S.C.D.	SEAT COVER DISPENSER
BLDG.	BUILDING	G.S.	GALVANIZED STEEL	SCHED.	SCHEDULE
BLK.	BLOCK	GYP.	GYPSPUM	S.D.	SOAP DISH OR STORM DRAIN
BLKG.	BLOCKING			SECT.	SECTION
B.M.	BENCH MARK	H.B.	HOSE BIBB	S.F.	SQUARE FEET
BM.	BEAM	H.C.	HOLLOW CORE	SHWR.	SHOWER
BOT.	BOTTOM	HDCAP.	HANDICAPPED	SHT.	SHEET
B.U.R.	BUILT-UP ROOFING	HDWR.	HARDWOOD	SIM.	SIMILAR
		HDWR.	HARDWARE	S.N.D.	SANITARY NAPKIN
CAB.	CABINET	H.M.	HOLLOW METAL		DISPENSER
C.B.	CATCH BASIN	HORIZ.	HORIZONTAL	S.N.R.	SANITARY NAPKIN
CEM.	CEMENT	HT.	HEIGHT		RECEPTACLE
CER.	CERAMIC			SPEC.	SPECIFICATION
C.I.	CAST IRON	I.D.	INSIDE DIAMETER	SPEC'D.	SPECIFIED
C.G.	CORNER GUARD	IN.	INCH	SPEC'S.	SPECIFICATIONS
C.J.	CONTROL JOINT	INSUL.	INSULATION	SQ.	SQUARE
CLG.	CEILING	INT.	INTERIOR	S.S.	SANITARY SEWER/
CLO.	CLOSET	I.B.C.	INTERNATIONAL BLDG. CODE		STAINLESS STEEL
CLR.	CLEAR			STD.	STANDARD
C.M.U.	CONCRETE MASONRY UNIT	JAN.	JANITOR	STL.	STEEL
C.O.	CASD OPENING	JT.	JOINT	STOR.	STORAGE
CO.	CLEANOUT			STR.	STAIR
COL.	COLUMN	L	ANGLE	STRUC.	STRUCTURAL
CONC.	CONCRETE	LAB.	LABORATORY	STM. SWR.	STORM SEWER
CONN.	CONNECTION	LAM.	LAMINATE	SUSP.	SUSPENDED
CONST.	CONSTRUCTION	LAV.	LAVATORY	SWR.	SEWER
CONT.	CONTINUOUS	LKR.	LOCKER	SW.	SWITCH
CORR.	CORRIDOR	LB.	POUND	SYM.	SYMETRICAL
CPT.	CARPET	LBS.	POUNDS		
CNTR.	COUNTER	LT.	LIGHT	T.P.D.	TOILET PAPER DISPENSER
CTR.	CENTER			T&G	TONGUE AND GROOVE
CTSK.	COUNTERSINK	MAX.	MAXIMUM	T.B.	TOWEL BAR
		M.C.	MEDICINE CABINET	TEL.	TELEPHONE
DBL.	DOUBLE	MECH.	MECHANICAL	TER.	TERRAZZO
DEPT.	DEPARTMENT	MEMB.	MEMBRANE	THK.	THICK
DET.	DETAIL	MFR.	MANUFACTURER	T.O.C.	TOP OF CURB
D.F.	DRINKING FOUNTAIN	MH.	MANHOLE	T.O.M.	TOP OF MASONRY
DIA.	DIAMETER	MIN.	MINIMUM	T.O.P.	TOP OF PAVEMENT
DIM.	DIMENSION	MIR.	MIRROR	T.O.S.	TOP OF STEEL
DISP.	DISPENSER	MISC.	MISCELLANEOUS	T.O.W.	TOP OF WALL
DN.	DOWN	M.O.	MASONRY OPENING	T.P.D.	TOILET PAPER DISPENSER
D.O.	DOOR OPENING	M.R.	MOISTURE RESISTANT	TRD.	TREAD
DR.	DOOR	MTD.	MOUNTED	TRTD.	TREATED
D.S.	DOWNSPOUT	MTL.	METAL	TV.	TELEVISION
DWG.	DRAWING	MULL.	MULLION	TYP.	TYPICAL
DWR.	DRAWER				
		N.	NORTH	U.G.	UNDERGROUND
E.	EAST	N.I.C.	NOT IN CONTRACT	U.N.O.	UNLESS NOTED
EA.	EACH	NO.	NUMBER		OTHERWISE
E.W.	EACH WAY	NOM.	NOMINAL	UNFIN.	UNFINISHED
E.D.F.	ELECTRIC DRINKING FOUNTAIN	N.T.S.	NOT TO SCALE	UTIL.	UTILITY
E.W.C.	ELECTRIC WATER COOLER				
ELEC.	ELECTRICAL	OA.	OVERALL	VENT.	VENTILATION
EL.	ELEVATION	O.C.	ON CENTER	V.T.R.	VENT THRU ROOF
EMERG.	EMERGENCY	O.D.	OUTSIDE DIAMETER	VEST.	VESTIBULE
ENCL.	ENCLOSURE	O.F.C.I.	OWNER FURNISHED - CONTRACTOR INSTALLED		
E.P.	ELECTRICAL PANEL			W.	WEST
EQ.	EQUAL	O.F. & I.	OWNER FURNISHED AND INSTALLED	W/	WITH
EQUIP.	EQUIPMENT			W.C.	WATER CLOSET
EXIST.	EXISTING			W.H.	WATER HEATER
EXP.	EXPANSION	OFF.	OFFICE	WD.	WOOD
E.J.	EXPANSION JOINT	OPNG.	OPENING	WIDW.	WINDOW
EXT.	EXTERIOR	OPP.	OPPOSITE	W/O	WITHOUT
E.I.F.S.	EXT. INSUL. & FINISH SYSTEM			WP.	WATERPROOF
		PNL.	PANEL	WPST.	WAINSCOT
F.A.	FIRE ALARM	P. LAM.	PLASTIC LAMINATE	WT.	WEIGHT
F.B.	FLAT BAR	PL.	PLATE	W.W.F.	WELDED WIRE FABRIC
F.D.	FLOOR DRAIN	PLAS.	PLASTIC		
FDTN.	FOUNDATION	PLBG.	PLUMBING		
F.E.	FIRE EXTINGUISHER	PLYWD.	PLYWOOD		
F.E.C.	FIRE EXTINGUISHER CABINET	PR.	PAIR		
F.H.C.	FIRE HOSE CABINET	PRCST.	PRECAST		
FIN.	FINISH	PT.	POINT		
F.L.	FLOW LINE	PTD.	PAINTED		
FLR.	FLOOR	P.T.D.	PAPER TOWEL DISPENSER		
FLASH.	FLASHING	P.T.D./R.	PAPER TOWEL DISPENSER / RECEPTACLE		
FLUOR.	FLUORESCENT	PTN.	PARTITION		
F.O.C.	FACE OF CONCRETE	P.T.R.	PAPER TOWEL RECEPTACLE		
F.O.F.	FACE OF FINISH				
F.O.G.	FACE OF GLASS				

GENERAL NOTES (GN):

- THE PROJECT MANUAL/CONTRACT DOCUMENTS INCLUDE:
 - THE AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR.
 - CONSTRUCTION DRAWINGS
 - SPECIFICATIONS (AS ISSUED)
- ALL WORK NOTED "BY OTHERS" IS TO BE ACCOMPLISHED BY THE OWNER RATHER THAN THE GENERAL CONTRACTOR AND IS NOT PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR IS TO COOPERATE AND COORDINATE WITH THE WORK OF "OTHER" CONTRACTORS AS REQUIRED.
- COORDINATION: STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND COORDINATE ALL THE CONTRACT DOCUMENTS BEFORE FABRICATION AND/OR INSTALLATION OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR ERRORS.
- REFER ALSO TO EACH DISCIPLINE INFORMATION SHEETS FOR ADDITIONAL GENERAL NOTES.
- FIELD VERIFICATION: PRIOR TO SCHEDULING OF WORK AND COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OF EQUIPMENT, DIMENSIONS OR MATERIALS ON DRAWINGS.
- LEGEND: ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING THE SAME OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- PRECEDENCE: DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE. LARGER SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS. GENERAL NOTES TAKE PRECEDENCE OVER DRAWINGS.
- DETAILS: SUCH AS TYPICAL SHALL APPLY AT LIKE CONDITIONS. ALL OTHER CONDITIONS THAT ARE NOT TYPICAL WILL HAVE A SPECIFIC DETAIL CALLED OUT.
- DO NOT SUBSTITUTE, REVISE OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
- SUBMIT ALL SCHEDULES, SHOP DRAWINGS, SAMPLES AND OTHER ITEMS PER THE CONTRACT DOCUMENTS.
- ALL GLASS TO CONFORM TO CONSUMER SAFETY COMMISSION, PRODUCT SAFETY ACT 16 CFR 1201 & CITY OF DAYTON CODE
- DIMENSIONING RULES: THE FOLLOWING RULES APPLY, UNLESS NOTED OTHERWISE.
 - HORIZONTAL DIMENSIONS ARE SHOWN FROM FACE OF FINISH / CMU OR / SLAB.
 - DIMENSIONS NOTED "CLEAR", "HOLD" OR "CLR" MUST BE PRECISELY MAINTAINED.
 - DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE CONTRACTING OFFICER, UNLESS NOTED (+/-).
 - VERTICAL DIMENSIONS ARE FROM THE TOP OF FINISHED FLOOR.
 - DIMENSIONS MARKED "VERIFY", "VERIFY IN FIELD" OR "VIF" SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND DISCUSSED WITH THE OWNER PRIOR TO CONSTRUCTION.
 - DO NOT SCALE DRAWINGS. IF ANY ITEM OF WORK CANNOT BE LOCATED, DISCUSS WITH OWNER PRIOR TO CONSTRUCTION.
- FRAMING: CONTRACTOR SHALL PROVIDE ALL REQUIRED BLOCKING, BACKING, FRAMES, HANGERS OR OTHER SUPPORT AS NECESSARY FOR ALL FIXTURES, EQUIPMENT, CABINETS, FURNISHINGS AND ALL OTHER ITEMS REQUIRING THE SAME. ALL BLOCKING SHALL BE FIRE RESISTANT.
- ACCESS PANELS: ALL EQUIPMENT SWITCHES, CONTROLS AND VALVES THAT ARE CONCEALED MUST BE PROVIDED WITH ACCESS PANELS.
- ALL GYPSUM BOARD TO BE TYPE "X". ALL GYPSUM BOARD IN TOILETS, JANITOR ROOMS, AT SINKS & PIPE CHASES TO BE TYPE "X" WATER RESISTANT.
- ALL EXPOSED CONDUITS, PIPES, SUPPORTS, ETC. ARE TO BE RUN PERPENDICULAR TO WALLS AND CEILINGS WITH CONSIDERATION TO NEATNESS.
- ALL WOODWORK, BLOCKING, GROUNDS, ROUGH BUCKS AND MISCELLANEOUS BLOCKING TO BE FIRE RESISTANT TREATED.
- ALL WALLS ARE TO BE FLOATED & FINISHED TO FLOOR.
- FINISH ALL EXPOSED SURFACES OF NEW, RELOCATED OR MODIFIED WALLS, DOORS, MILLWORK, ETC. AS REQUIRED.
- PROVIDE FIRESTOPPING AT ALL FLOOR PENETRATIONS, ROOF PENETRATIONS AND PENETRATIONS OF FIRE RATED WALLS.
- WHERE NEW PARTITIONS INTERSECT EXTERIOR WINDOW SYSTEM, INSTALL SOUND ATTENUATION TAPE.
- THE WORK PERFORMED AS PART OF THESE DOCUMENTS SHALL COMPLY WITH THE CITY OF HOUSTON CODES & TEXAS ACCESSIBILITY STANDARDS.
- THE WORK PERFORMED AS PART OF THESE DOCUMENTS INCLUDES FINAL CLEANING OF THE ENTIRE SPACE BY THE CONTRACTOR. VACUUM CARPET, MOP TILE FLOORS, BROOM CLEAN MECH. ROOMS, CLEAN WINDOWS, MINI-BLINDS, RUBBER BASE, ALL MILLWORK, FIXTURES, ACCESSORIES AND DOORS.

EXIT REQUIREMENTS

- OCCUPANT LOAD FACTORS
Use and Square Feet/Person, per Table 1004.1.2
 - Assembly w/o fixed seats
 - Education - 20 net
 - Exercise Rooms - 50 gross
 - Business - 100 gross
 - Storage, Mechanical, Equipment - 300 Gross
- Exit Capacity
Egress width in a fully sprinklered building shall be 2"/occ at stairs and .15" per occ. at all other egress components. Table 1005.1
- Number of Exits (Minimum)
 - At least two exits shall be accessible from every story with occupancies between 1-500; 3 exits for 501-1000. Table 1018.1
 - Two exits shall be provided for occupant loads of 50 or more. Table 1014.1 and Section 1014.1
- Location of Exits
 - Where two exits are required they will be placed a distance apart equal to not more than one-third the maximum diagonal when the building is protected with an automatic sprinkler system. Sec. 1004.2.1.2
 - Additional exits must be arranged so that if one becomes blocked the others will be available.
- Travel Distance to Exit (Maximum)
 - Travel distance from any point to an exit shall not exceed 250 feet since fully sprinklered. Section 1015.1
 - Dead ends shall not exceed 20 feet. Section 1016.3
- DOORS
 - Width (min.) 36" opening with 32" clear width. Sec. 1008.1.1
 - Width (maximum) 48" leaf
 - Height 6'-8"
 - Required to swing in direction of exit travel when serving an occupant load greater than 50. Sec. 1008.1.9
 - Panic hardware required on doors serving assembly occupancies having an occupant load of 100 or more. Sec. 1008.1.9
 - Doors, when fully opened shall not reduce the req'd. width by more than 7 in. Doors in any position shall not reduce the width by more than one-half 1020.2
- CORRIDORS
 - Width (min.) 36" (49 occ. or less) 44" (50 occ. or more). Sec. 1016.2 & 1020.2
 - Height (min.)
 - To ceiling not less than 7'-0" or 7'-6". Sec. 1003.2 & 1208.2
 - Corridors in A occupancies in fully sprinklered bldg. have non-rated corridor walls. Sec.1016.1.
 - Protruding objects shall comply with 1003.3
- BLEACHERS AND TELESCOPING SEATING
 - Shall comply with ICC 300, per 1024.1.1 of the IBC.
- EMERGENCY SERVICES
 - Exit Lighting Sect. 1006
 - Not less than 1 footcandle at floor level, of all means of egress.
 - Provide emergency source upon failure of the primary system. Sect. 1006.3 & 2702
 - Exit Signs Section 1011

FIRE PROTECTION SYSTEM REQUIREMENTS

TYPE	REQUIRED	IBC REFERENCE
Automatic Sprinklers	YES	903.2.1.3
Standpipes	NO	Table 905.5.1
Portable Extinguishers	YES	IFC
Fire Alarm Systems	YES	907
Fire Dampers	YES	716
Emergency & Standby Power	YES	909
Storage Rooms over 100 s.f.	YES	Table 302.1.1 & Sect. 302.1.1.1
		Walls to resist the passage of smoke

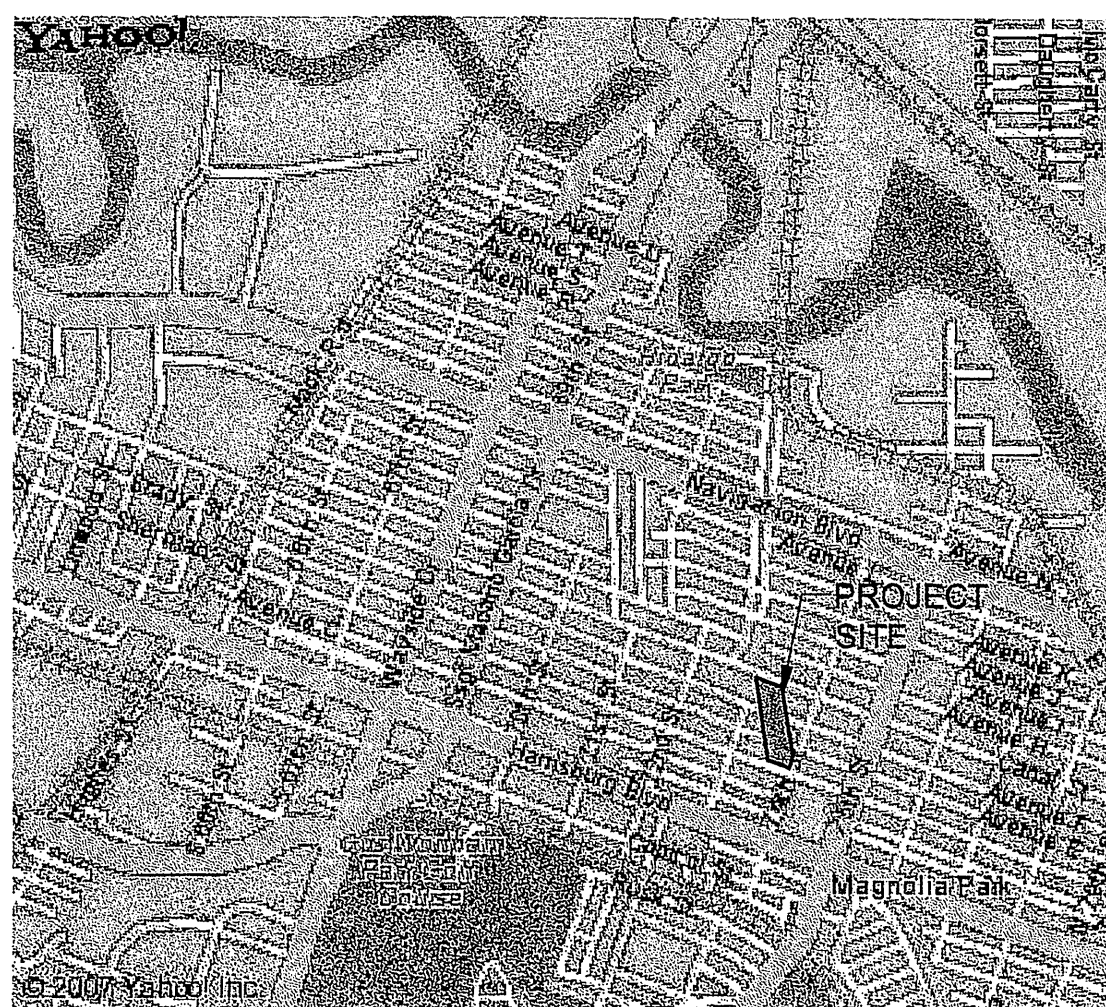
FIRE RATING REQUIREMENTS, based on Type II B

STRUCTURAL FRAME	RATING	REFERENCE
COLUMNS	0	TABLE 602
BEAMS	0	
ROOF	0	
BEARING WALLS	0	TABLE 602
INTERIOR	0	
EXTERIOR	0	
NONBEARING WALLS AND PARTITIONS	0	
EXTERIOR	Varies	TABLE 602/FIRE SEPARATION DIST.
INTERIOR	0	TABLE 601
FLOOR CONSTRUCTION	0	TABLE 601
ROOF CONSTRUCTION	0	TABLE 601
SHAFTS	1	TABLE 601
EXIT ACCESS CORRIDORS	0	SECTION 1016.1

TEXAS ACCESSIBILITY REQUIREMENTS (AR):

- AR01. CONTRACTOR SHALL OBTAIN A COPY OF THE TEXAS ACCESSIBILITY REVIEW.
- AR02. CONTRACTOR SHALL CONTACT THE PERSON THAT PREPARED THE TEXAS ACCESSIBILITY REVIEW LETTER AND WORKSHEET TO SCHEDULE AN ON-SITE INSPECTION OF THE COMPLETED CONSTRUCTION OF THIS FACILITY. WE RECOMMEND NEAR OR AT THE PUNCH LIST MEETING WALK THRU THE INSPECTION FEE WILL NEED TO BE PAID BY THE OWNER FOR THESE INSPECTION SERVICES.

VICINITY MAP (KEY MAP 495W)



GOVERNING AGENCY APPROVALS

NO CONSTRUCTION WORK SHOULD TAKE PLACE PRIOR TO OBTAINING APPROVALS FROM THE BUILDING DEPT., TAS REVIEW AND ALL OTHER APPLICABLE GOVERNING AGENCIES.

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ADDITIONAL CONSTRUCTION COST RESULTING FROM WORK STARTED PRIOR TO OBTAINING ALL GOVERNING AGENCIES APPROVALS.

BUILDING DATA

PROJECT NAME: JOHN P. MCGOVERN, M.D. COMMUNITY CENTER AND RECREATION BUILDING

BUILDING ADDRESS: 7318 AVENUE F, HOUSTON, TEXAS, 77011

LEGAL DESCRIPTION: SEE ATTACHED SURVEY

BUILDING CODES:

- 2003 IBC WITH CITY OF HOUSTON AMENDMENTS
- UNIFORM MECHANICAL CODE 2000 EDITION, AS AMENDED BY THE CITY OF HOUSTON
- UNIFORM PLUMBING CODE 2000 EDITION AS AMENDED BY THE CITY OF HOUSTON
- UNIFORM ELECTRICAL CODE 2002 EDITION
- INTERNATIONAL ENERGY CONSERVATION CODE 2000 EDITION WITH HOUSTON AMENDMENT

SCOPE OF WORK: 1 STORY GYMNASIUM/RECREATION FACILITY WITH ASSOCIATED SUPPORT FACILITIES AND CLASSROOMS

BUILDING AREA: 16,756 SF TOTAL AREA (1 STORY)
39,722 SF TOTAL ALLOWABLE AREA

OCCUPANCY TYPE: ASSEMBLY GROUP (A-3), SECT. 303.1 (A-3 and E but A-3 is most restrictive)

OCCUPANCY SEPARATION: NONE - SECTION 302.3.1/TABLE 302.3.2

ALLOWABLE HEIGHTS & BLDG. AREAS: PER TABLE 503 - TYPE IIB CONSTRUCTION, A-3 = 2 STORY HT LIMIT AND 9,500 SF AREA LIMIT PER FLOOR

AREA MODIFICATION: ACCESSIBLE PERIMETER = 261 FT, TOTAL PERIMETER = 580 FT

FRONTAGE INCREASE = $100 \left(\frac{261}{580} - 0.25 \right) + \frac{20}{30} = 18.13$

AREA INCREASE = $9500 + \left(\frac{9500 \times 18.13}{100} \right) + \left(\frac{9500 \times 300}{100} \right) = 39,722$ SF TOTAL AREA

PLUMBING CALCULATIONS: CITY OF HOUSTON, AND IBC

TOTAL ASSEMBLY OCCUPANTS = 601	MALES = 300.50	FEMALES = 300.50
ASSEMBLY MALES 1/125 WATER CLOSETS	300.50/125 = 3	
ASSEMBLY FEMALES 1/60 WATER CLOSETS	300.50/60 = 6	
ASSEMBLY M & F 1/200 LAVATORIES	300.50/200 = 2	300.50/200 = 2
ASSEMBLY 1/500 DRINKING FOUNTAINS	601/500 = 2	

TOTAL CLASSROOM OCCUPANTS = 197	MALES = 98.50	FEMALES = 98.50
CLASSROOM M & F 1/50 WATER CLOSETS	98.50/50 = 2	98.50/50 = 2
CLASSROOM M & F 1/50 LAVATORIES	98.50/50 = 2	98.50/50 = 2
CLASSROOM 1/100 DRINKING FOUNTAINS	197/100 = 2	1/100

APPROVED FOR CONSTRUCTION

PARTIES SIGNING BELOW AGREE THAT THIS SET OF PLANS REPRESENTS ALL OF THE FACILITIES AND IMPROVEMENTS TO BE PROVIDED.

OWNER/TENANT _____ DATE _____

CONTRACTOR _____ DATE _____

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G01.01 ACCESSIBILITY INFORMATION
G01.02 ACCESSIBILITY INFORMATION

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C03.01 ARCHITECTURAL SITE DETAILS

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C2.0 GRADING, PAVING AND DRIVEWAYS PLAN
C3.0 DRAINAGE AND UTILITIES PLAN
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ARCHITECTURAL LEGEND

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